



ADDENDUM 1

PROJECT NAME: Bob Ross Senior Center HVAC Replacement

DATE: 8/26/24

PROJECT NO: 35-00308

This addendum is separated into sections for convenience; however, all respondents, bidders, contractors, subcontractors, material men, and other parties must be responsible for reading the entire addendum. The failure to list an item or items in all affected sections of this addendum does not relieve any party affected from performing as per instructions, providing that the information is set forth one time any place in this addendum. These documents will be attached to and will become part of the Contract Documents for this project. The respondent/bidder is required to acknowledge the receipt of this addendum.

GENERAL:

1. The following changes and/or additions to the Contract Documents, via this addendum, must apply to proposals made for and to the execution of the various parts of the work affected thereby.
2. Careful note of the Addendum must be taken by all interested parties and all trades affected must be fully advised in their performance of the work involved.
3. This Addendum is hereby made part of the project requirements and contract documents for the above reference project. Ensure to acknowledge this Addendum in CivCast when downloading this Addendum. Acknowledgement of this Addendum is a requirement in order to submit bid in CivCast. This addendum consists of the items and their associated attachments as listed below:

A. ADMINISTRATIVE CHANGES TO BID DOCUMENTS:

1. N/A

B. CHANGES TO PLANS / SPECIFICATIONS:

1. COVER SHEET
 - A. ALTERNATE LIST UPDATED WITH CORRECT ALTERNATE LABELING.
2. MD1.2
 - A. ALTERNATE LIST UPDATED WITH CORRECT ALTERNATE LABELING.

C. QUESTIONS & RESPONSES:

1. **QUESTION:** IS THIS PROJECT A REBID?
ANSWER: YES, THIS PROJECT IS A REBID.
2. **QUESTION:** GOOD MORNING, WHEN WOULD THIS JOB EXECUTE?
ANSWER: OCTOBER 2024.

3. **QUESTION (1):** GOOD AFTERNOON, THERE IS SOME CONTRADICTORY VERBIAGE IN THE SPECS AND MECHANICAL PRINTS AROUND NETWORK COMMUNICATION AND DEVICES. IN BOTH SETS OF DOCUMENTS, IT STATES ONLY WIRELESS NETWORKS AND SENSORS ARE ALLOWED BUT ALSO STATES THE NETWORK SHOULD BE MSTP TYPE WIRING AND WIRED END DEVICES. IT IS NOT CLEAR WHAT THE EXPECTATION IS. CAN WE GET A CLEAR ANSWER IF MSTP WIRED COMMUNICATION, WIRED SENSORS AND END DEVICES ARE ALLOWED?

ANSWER (1): THE INTENT IS TO USE WIRELESS SENSORS AND NETWORKS, HOWEVER WIRED DEVICES ARE ALLOWED.

QUESTION (2): THERE IS SOME CONTRADICTORY VERBIAGE IN THE SPECS AND MECHANICAL PRINTS AROUND THE FRONT-END WORKSTATION SERVER. CITY OF SAN ANTONIO HAS A MAIN BMS SERVER ALREADY, CAN WE INCLUDE THIS BUILDING INTO THE CITY OF SAN ANTONIO MAIN BMS SERVER THAT THEY ARE ALREADY MAINTAINING OF IS THE EXPECTATION TO PROVIDE ANOTHER STANDALONE SERVER AND SOFTWARE LICENSE AT THIS SITE THAT THE CITY WILL HAVE TO MAINTAIN IN ADDITION TO THEIR MAIN SERVER?

ANSWER (2): THE CAMPUS IS NOT EXPECTING TO HAVE ANY VISIBILITY OR CONNECTION TO ANY COSA MAIN BMS SERVER. THE CAMPUS WOULD OPERATE ON ITS OWN ISOLATED NETWORK.

4. **QUESTION (1):** DOES THE ROOF HAVE A CURRENT WARRANTY? IF YES, WHAT IS THE NAME OF THE ROOFING CONTRACTOR?

ANSWER (1): THE ROOF HAS A 15 YEAR WARRANTY FROM DURO-LAST WITH THE EFFECTIVE STARTING DATE OF AUGUST 26,2021. THE CONTRACTOR WAS ULTIMATE ROOFING SYSTEMS.

QUESTION (2): WHO IS THE EXISTING FIRE ALARM COMPANY?

ANSWER (2): INTERTEC

QUESTION (3): UNDER SECTION TEMPORARY FACILITIES CONTROLS IN SPECIFICATIONS, COSA BADGES ARE REQUIRED FOR ALL EMPLOYEES ON THIS PROJECT. HOW MUCH DOES EACH EMPLOYEE BADGE COST?

ANSWER (3): NEED TO WEAR COMPANY LOGO SHIRT AND SIGN IN.

QUESTON (4): IS FLOOR PROTECTION REQUIRED ON THE WOOD FLOORING AND ALL OTHERS?

ANSWER (4): NO.

QUESTION (5): DURING THE WALK THRU, TWO CEILING AREAS HAVE WATER DAMAGED CEILING TILES. ONE IS IN THE AEROBICS ROOM AND THE OTHER IS THE HALLWAY IN FRONT OF MEN'S / WOMEN'S BATHROOMS. DOES THE EXISTING ROOF HAVE WATER LEAKS WHICH NEED REPAIRS?

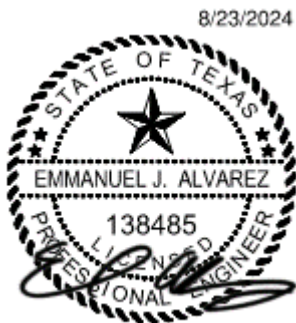
ANSWER (5): ROOF REPAIRS ARE NOT PART OF THIS PROJECT.

QUESTION (6): ON DWG. M1.2, ALT. #1 IS THE SOUTH WING WEST AND ALT. #2 IS THE SOUTH WING EAST. ON DWG. MD1.2, THE SOUTH WING WEST IS ALT #2 AND SOUTH WING EAST IS ALT. #1. ARE THE ALTERNATE AREAS LABELED INCORRECTLY ON DWG. MD1.2?

ANSWER (6): SEE AMENDED DRAWINGS DATED 8/23/2024. THE CORRECT LABELING IS ALTERNATE #1 IS IN THE SOUTHWEST OF THE BUILDING AND ALTERNATE #2 IS IN THE SOUTHEAST OF THE BUILDING.

SIGNED AND SEALED BY CONSULTANT (Engineer/Architect of Record)

By signing and sealing this addendum, the Engineer/Architect of Record acknowledges that the sign/seal is only for changes/clarifications to the items associated with the Engineer's/Architect's work referenced in this addendum.



Emmanuel Alvarez, PE

David Rios

David Rios
Procurement Manager
Finance Department - Procurement Division

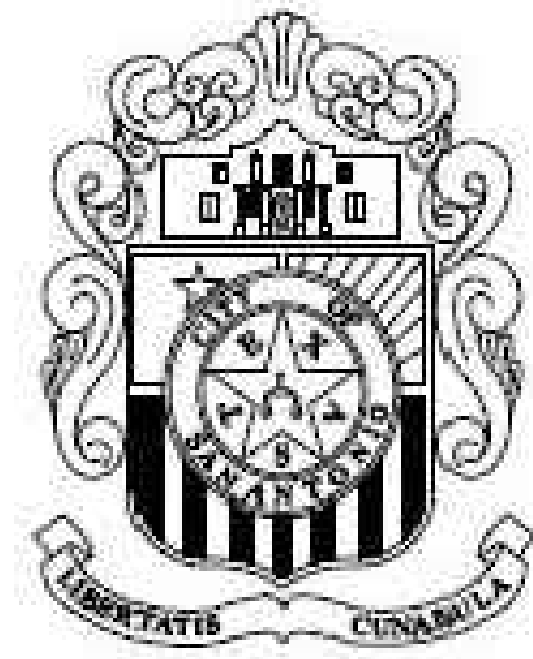
END OF ADDENDUM NO. 1

CITY COUNCIL

MAYOR:
RON NIRENBERG

COUNCIL:
SUKH KAUR
JALEN MCKEE-RODRIGUEZ
PHYLLIS VIAGRAN
DR. ADRIANA ROCHA GARCIA
TERI CASTILLO
MELISSA CABELLO HAVRDA
MARINA ALDERETE GAVITO
MANNY PELAEZ
JOHN COURAGE
MARC WHYTE

DISTRICT 1
DISTRICT 2
DISTRICT 3
DISTRICT 4
DISTRICT 5
DISTRICT 6
DISTRICT 7
DISTRICT 8
DISTRICT 9
DISTRICT 10



BUILDING AND EQUIPMENTS
SERVICES DEPARTMENT

CITY OF SAN ANTONIO
BOB ROSS SENIOR CENTER
HVAC REPLACEMENT

2219 BABCOCK RD.
SAN ANTONIO, TX 78229

CITY MANAGER

ERIK WALSH

BESD DIRECTOR

JORGE PEREZ

PROJECT COORDINATOR

LUIS RIVAS - PROJECT COORDINATOR
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CONSULTANT

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SAN ANTONIO, TX 78229
PHONE (210) 614-1110
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SHEET INDEX

MECHANICAL	
M0.0	MECHANICAL SYMBOLS AND ABBREVIATIONS
MD1.1	MECHANICAL DEMOLITION FLOOR PLAN - NORTH
MD1.2	MECHANICAL DEMOLITION FLOOR PLAN - SOUTH
MD2.1	MECHANICAL ROOF PLAN DEMOLITION
M1.1	MECHANICAL NEW WORK FLOOR PLAN - NORTH
M1.2	MECHANICAL NEW WORK FLOOR PLAN - SOUTH
M2.1	MECHANICAL ROOF PLAN - NEW WORK
M3.1	MECHANICAL SCHEDULES
M4.1	MECHANICAL DETAILS
M4.2	MECHANICAL DETAILS
M5.0	MECHANICAL CONTROLS
M5.1	MECHANICAL CONTROLS
M5.2	MECHANICAL CONTROLS

ELECTRICAL	
E0.0	ELECTRICAL SYMBOLS & ABBREVIATIONS
ED1.1	PARTIAL POWER FLOOR PLAN DEMOLITION
ED1.2	PARTIAL POWER FLOOR PLAN DEMOLITION
ED1.3	POWER ROOF PLAN DEMOLITION
E1.1	PARTIAL POWER FLOOR PLAN NEW WORK
E1.2	PARTIAL POWER FLOOR PLAN NEW WORK
E1.3	POWER ROOF PLAN NEW WORK
E2.1	ELECTRICAL SCHEDULES
E2.2	ELECTRICAL SCHEDULE
E2.3	ELECTRICAL SCHEDULE
E3.1	ELECTRICAL DETAILS

ALTERNATES

- BASE BID:

REPLACE ROOFTOP UNITS AND INSTALL MINI-SPLIT SYSTEM FOR ELECTRICAL ROOM ONLY.
- ALTERNATE 1:

REPLACE DUCTWORK AND VAV BOXES IN PLAN SOUTH WEST PORTION OF BUILDING.
- ALTERNATE 2:

REPLACE DUCTWORK AND VAV BOXES IN PLAN SOUTH EAST PORTION OF BUILDING.
- ALTERNATE 3:

REPLACE DUCTWORK AND VAV BOXES IN CENTRAL CORRIDOR.
- ALTERNATE 4:

REPLACE DUCTWORK IN DINING ROOM AREA.
- ALTERNATE 5:

REPLACE DUCTWORK IN KITCHEN AREA.
- ALTERNATE 6:

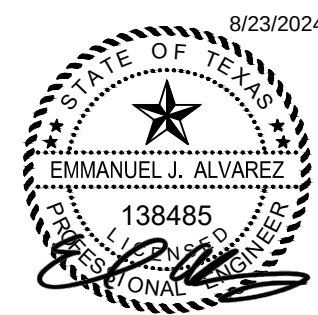
REPLACE ALL EXHAUST FANS AND INSTALL NEW EXHAUST FAN IN STORAGE ROOM.
- ALTERNATE 7:

INSTALL NEW BUILDING AUTOMATION SYSTEM.
- ALTERNATE 8:

REPLACE SPLIT SYSTEM FOR LOCKER ROOMS AND INSTALL NEW MINI-SPLIT SYSTEM IN CORRIDOR IN FRONT OF LOCKER ROOMS.
- ALTERNATE 9:

INSTALL UNIT HEATER FREEZE PROTECTION.
- ALTERNATE 10:

REPLACE AIR CURTAIN ON EXTERIOR KITCHEN DOOR.



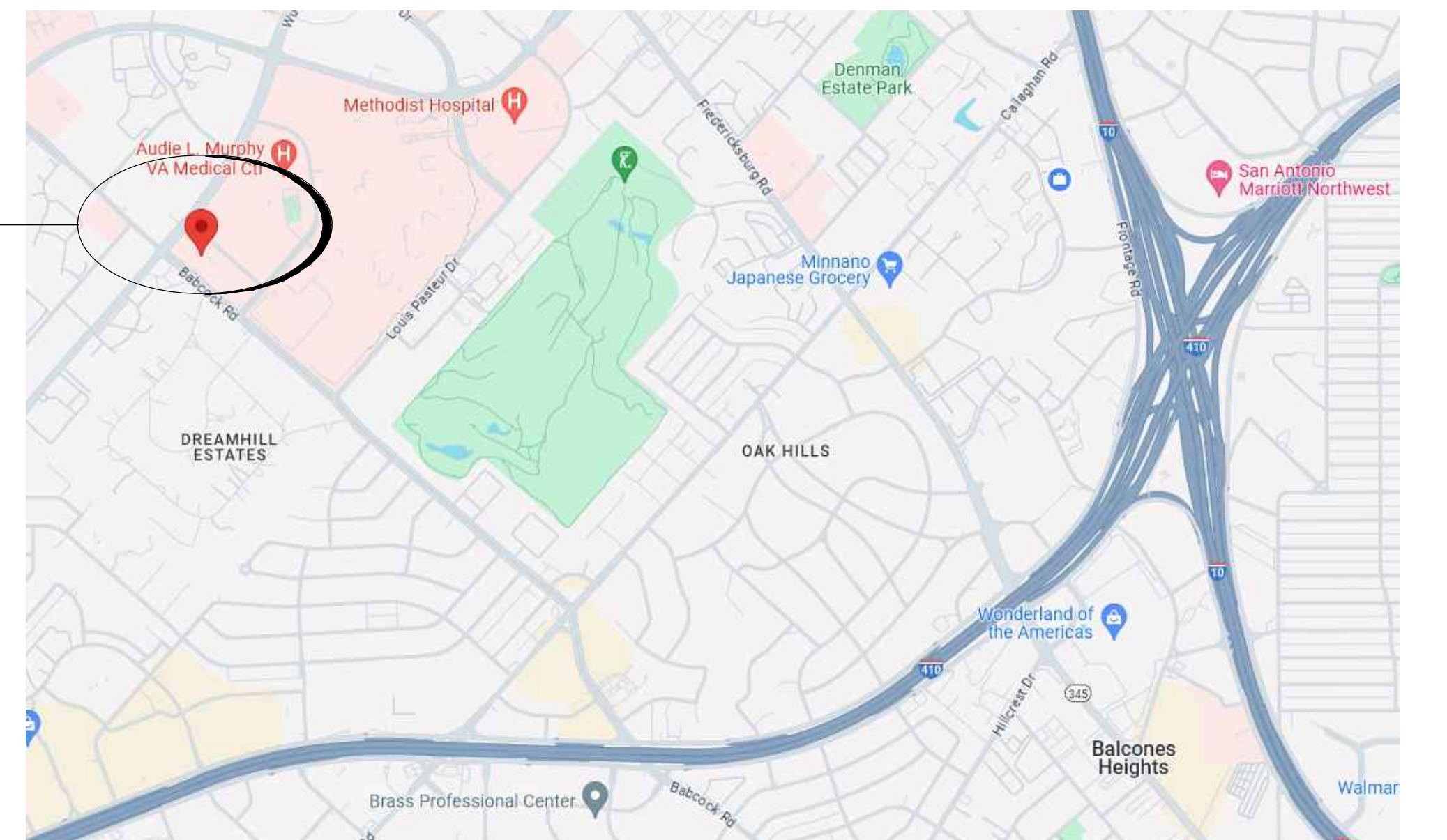
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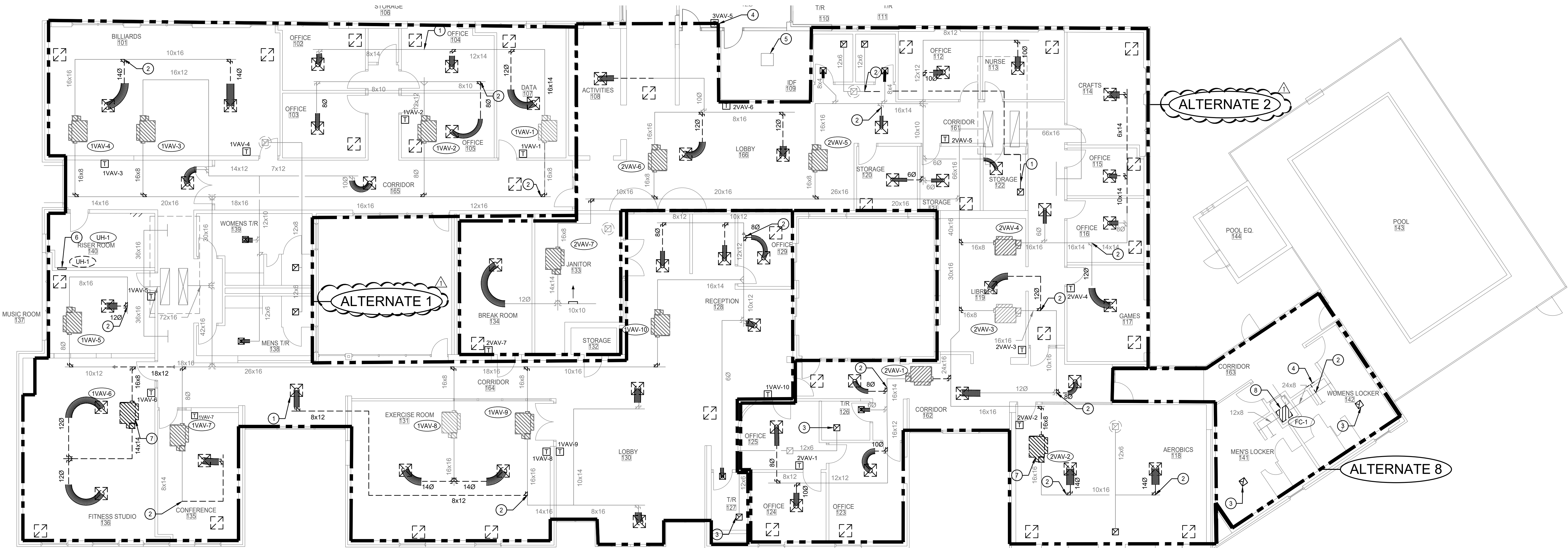


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F-1008

CONSTRUCTION DOCUMENTS
DATE OF ISSUE: 7/16/2024

PROJECT SITE





NORTH



1

DEMOLITION PLAN SOUTH - MECHANICAL

SCALE: 1/8" = 1' - 0"

KEYED NOTES:

(APPLIES TO THIS SHEET)

- DEMOLISH DUCT FROM THIS POINT BACK TO THE BRANCH TAP. UPSTREAM DUCT SHALL REMAIN IN PLACE FOR REUSE.
- CAP EXISTING TAP AND SEAL AIR-TIGHT.
- REMOVE EXISTING EXHAUST GRILLE AND ALL ASSOCIATED DUCTWORK, FAN, WIRING, AND CONTROLS. (ALTERNATE 6 ONLY)
- REMOVE EXISTING SIDEWALL SUPPLY GRILLE AND DUCTWORK BACK TO DUCT TAP. PATCH WALL TO MATCH EXISTING. (ALTERNATE 1 AND 2 ONLY)
- EXISTING CEILING CASSETTE TO REMAIN.
- REMOVE EXISTING WALL HEATER AND ASSOCIATED WIRING AND CONTROLS. PATCH WALL TO MATCH EXISTING. (ALTERNATE 9 ONLY)
- REMOVE EXISTING TERMINAL UNIT AND ALL ASSOCIATED CONTROLS, SUPPORTS AND WIRING. (ALTERNATES 1 AND 2 ONLY)
- REMOVE EXISTING VERTICAL FAN COIL AND ASSOCIATED PIPING AND CONTROLS. RETURN AIR PLENUM, DUCT AND SUPPLY DUCT TO REMAIN. (ALTERNATE 8 ONLY)

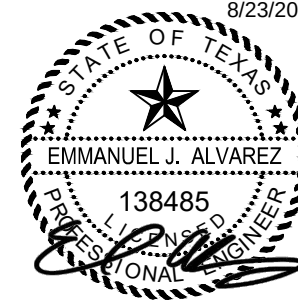
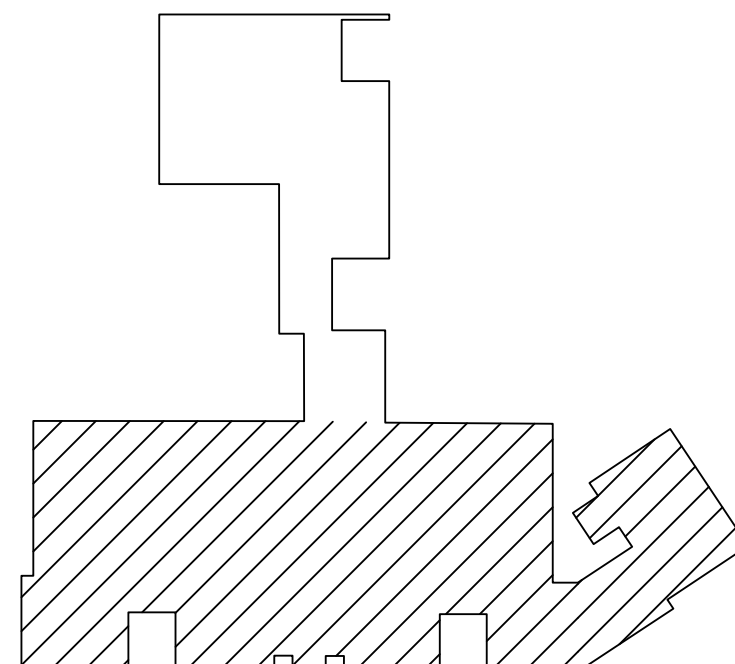
GENERAL DEMOLITION NOTES:

- DEMOLITION DOCUMENTATION WAS OBTAINED FROM EXISTING BUILDING RECORD DRAWINGS AND SURVEY OF THE FACILITY. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL FIELD VERIFY ALL EXISTING CONDITIONS.
- THE CONTRACTOR SHALL TAKE CARE TO PROTECT ALL EXISTING EQUIPMENT/ITEMS TO REMAIN.
- ALL EQUIPMENT THAT IS REMOVED BUT NOT REUSED SHALL BE MADE AVAILABLE TO THE OWNER. ANY SUCH ITEMS SHALL BE STORED AT THE SITE FOR A MINIMUM OF (1) WEEK UNLESS INDICATED OTHERWISE BY OWNER'S REPRESENTATIVE. ALL EQUIPMENT/ITEMS NOT RETAINED BY THE OWNER SHALL BE DISCARDED AT THE CONTRACTOR'S EXPENSE.
- LOCK ALL BALANCING DAMPERS FULLY OPEN AT BRANCH TAPS UPSTREAM FROM TERMINAL UNITS. SEE SHEETS M1.1 AND M1.2 FOR NEW TERMINAL UNIT LOCATIONS AND BRANCH TAP SIZES.
- REMOVE ALL EXISTING AIR DEVICES AND ASSOCIATED FLEX DUCT IN EACH CONTRACTED AREA.
- REMOVE ALL EXISTING THERMOSTATS IN EACH CONTRACTED AREA. SEE SHEETS M1.1 AND M1.2 FOR NEW TEMPERATURE SENSOR LOCATIONS.

NOTE TO CONTRACTOR:

REMOVE EXISTING CEILING TILES AND ASSOCIATED T-BAR SUSPENSION SYSTEM AS NECESSARY TO COMPLETE ABOVE CEILING CONSTRUCTION. SALVAGE AND STORE CEILING TILES FOR REINSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ALL DAMAGED CEILING TILES AND NEW T-BAR SUSPENSION SYSTEM.
CONTRACTOR SHALL SALVAGE AND STORE CEILING MOUNT ELECTRICAL DEVICES(FIRE ALARM, LIGHTING CONTROLS, PUBLIC ADDRESS, AV DEVICES, ETC.) AND ASSOCIATED WIRING FOR REINSTALLATION. DEVICE LOCATIONS TO MATCH EXISTING CONDITIONS.
CONTRACTOR TO TAKE CARE TO PREVENT DAMAGE TO GYP BOARD CEILINGS. FOR WORK REQUIRING REMOVING PORTIONS OF THE CEILING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING, REPAIRING, AND PATCHING TO MATCH SURROUNDING EXISTING CEILING.

KEY PLAN



BOB ROSS SENIOR CENTER HVAC REPLACEMENT

2219 Babcock Rd.,
San Antonio, TX 78229

Revision	Date
1	08/23/24

Date Published	07/16/2024
Checked By	MA
Designed By	JDB

MD1.2